

City of Alliance Building Guide



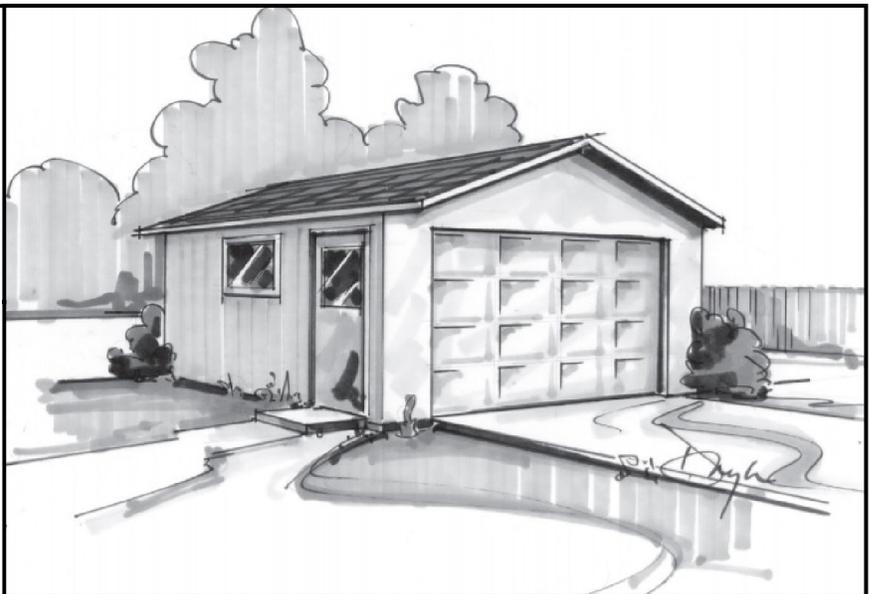
Residential Detached Garages, Carports, and Storage Buildings

Instructions to Obtain a Building Permit:

1. Fill in the blanks on the following pages. The Building Official may request more information than is required by this form for clarification purposes or unusual circumstances.
2. Provide a site plan showing the location of existing structures, the proposed structure, lot dimensions, structure dimensions, distances to the structures from lot lines and other structures, utility locations, driveways, drainage, the property address, easements, street names, zoning classification, scale, a north arrow, and any other information required by the Building Official.
3. Fill out a building permit application and submit it with the aforementioned documents. The review process moves without delay if the documents submitted are clear and in compliance with all adopted codes. Code allows 5 days for drawing examination; however, review comments may be ready sooner depending on the complexity of the project.

Other Permit Information:

- Separate permits and drawings are required for any plumbing and/or HVAC work.
- Permits expire 180 days after the date of issuance if construction has not commenced or has been suspended for 180 days.
- Electrical installations may require review, permitting, and inspection by the State of Nebraska Electrical Division.



This handout was prepared according to the 2018 International Residential Code and the City of Alliance Municipal Code. Graphics are credited to the Colorado Chapter of the ICC. This handout is not intended to cover all circumstances. Additional or different information may be required by the City before approving any building permit application.

Contact Information:

City of Alliance	State of Nebraska
PO Box D	Electrical Division
324 Laramie Avenue	Phone: (308) 631-1828
Alliance, NE 69301	www.electrical.nebraska.gov
Phone: (308) 762-5400	
www.cityofalliance.net	

Residential

Detached Garages, Carports, and Storage Buildings

Zoning Requirements:

General Requirements:

1. One detached carport or garage is allowed serving an existing residential use on the same lot. Existing carports or garages must be removed within 6 months of completion of a new one.
2. Proposed structures may not be greater than 18 feet tall.
3. The color of the street side and/or side street side of the structure must match or be similar to the color of the principal structure if placed within 100 feet of a street lot line or side street lot line; however, the necessity to match color will not be required if concealed behind the principal structure.

Carports:

1. Shall be constructed on and secured to a foundation following the same building code requirements as all other accessory structures.
2. Must conform to wind and snow load requirements.
3. A structure with more than 2 walls shall be considered a garage.
4. Metal carports must be constructed in the rear yard, on a concrete pad, and have footings the same as all other types of buildings or mobile home tie downs.
3. Metal carports in mobile home parks shall be permitted to be constructed in the side yard provided it is no closer to the front property line than the mobile home itself.

Garages:

1. Quonset huts are not permitted except in R-R or Ag zoning districts.

Storage Buildings:

1. One storage building may be constructed on a lot serving an existing residential use.
2. Buildings with doors wider than 6' shall be considered a garage.
3. Storage buildings greater than 200 ft² shall be constructed using the same design criteria as garages.
4. Storage buildings under 200ft² require a zoning permit.

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Zoning Requirements Continued:

Property Line Setbacks for Accessory Structures:

Zoning District	Setbacks			
	Front (A)	Rear	Side	Side Street
Ag	50	10	10	50
R-R	50	5	5	(B)
R-1, R-2, R-3	25	5	5	(B)
R-1a & R-4	25(C)	5	3	(B)

- A. The front setback shall be as indicated in the chart or the building line of the dwelling, whichever is greater.
- B. Side street setbacks shall be contingent on the following:
1. If located more than 75 feet from the front lot line, the setback shall be 5 feet.
 2. If any portion of the building is located less than 75 feet from the front lot line the setback shall be 15 feet or 10 feet in R-4.
 3. If the entrance to any private garage or carport is from the side street side, the setback shall be 15 feet regardless of the distance from the front lot line.
- C. The front setback in Belmont and DNSRT additions shall be 20' except the setback shall be 25' where the houses on the same side of the same street were developed with a 25' setback.

Inspections:

1. Site layout inspection. This inspection should be called for before digging. Any building, footing, or portion thereof not placed in accordance with setbacks shall be removed.
 2. Footing inspections before and after pouring concrete.
 3. Framing before enclosing walls.
 4. Any plumbing, HVAC, or electrical (State Inspection) work before enclosing any walls.
 5. Final inspection.
- The Building Official may assess a reinspection fee if the person or contractor habitually calls for inspections before being ready.
 - The Building Official may require additional inspections depending on the complexity of the project. Failure to call for inspections may result in removal of material to ensure code conformance.

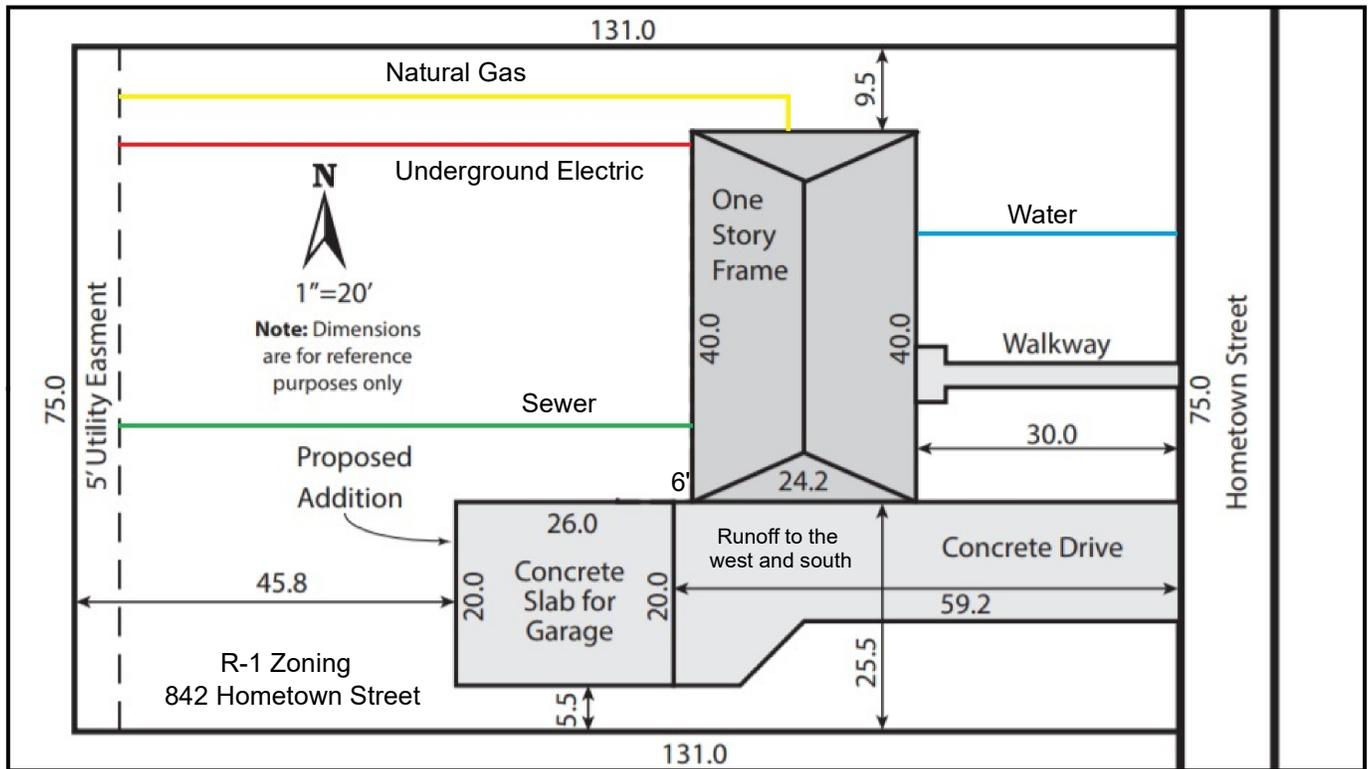
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Sample Site Plan:



Additional Information to Include on the Site Plan:

1. Calculation showing that the coverage of the proposed structure and all existing structures will not exceed the maximum total lot coverage area allowed in the zoning district regulations.
2. The height of the proposed structure (maximum 18').
3. Indicate the color of the structure if required by code to match the house.
4. List the names of contractors that will be used including plumbers, HVAC, and electricians.
5. Proposed utility service extensions to the new structure (if applicable).
6. Indicate whether or not the structure will be heated, and if so, how.
7. The City may require additional information depending on the complexity of the project.

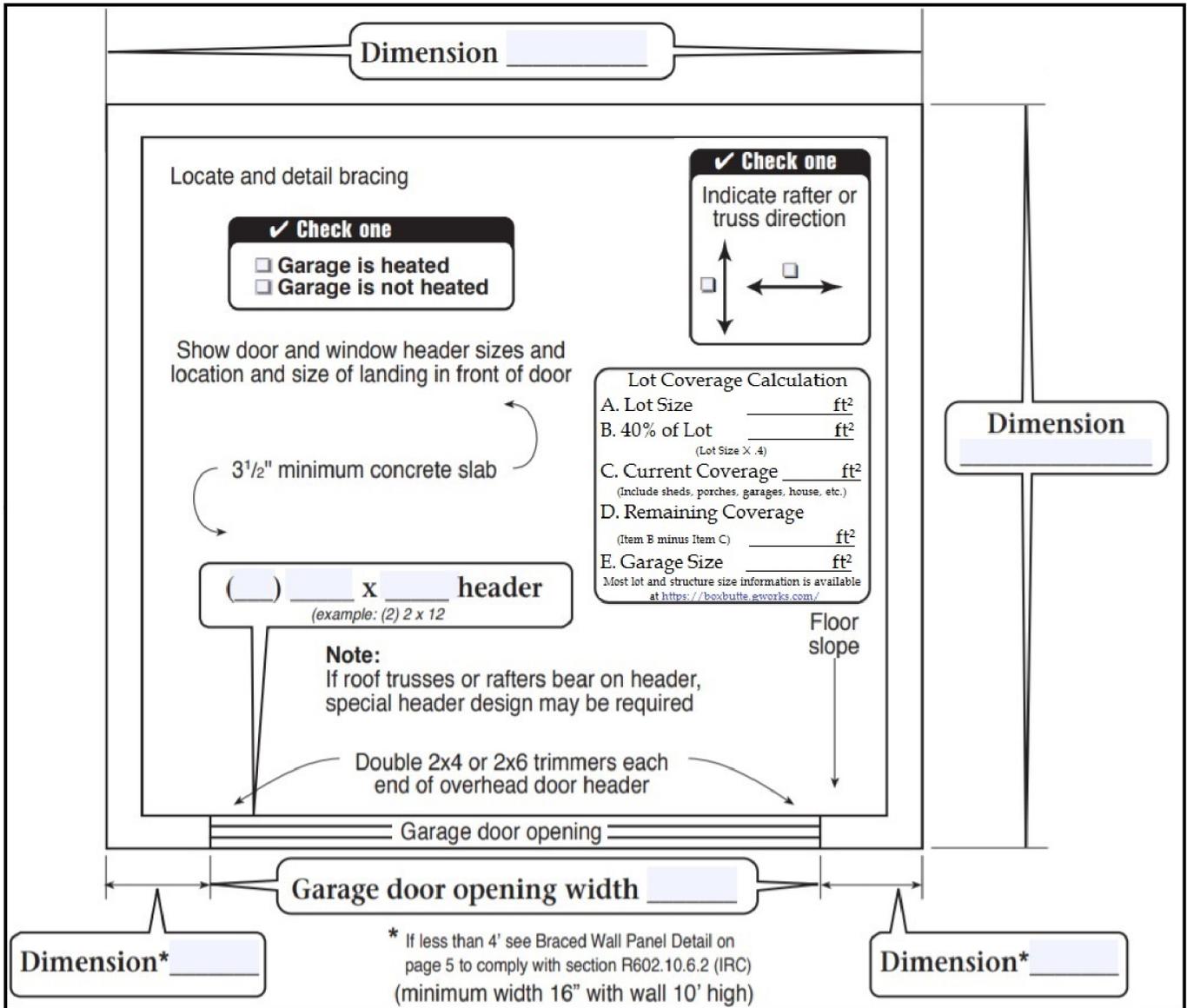
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Floor Plan:



* If less than 4' see Braced Wall Panel Detail on page 5 to comply with section R602.10.6.2 (IRC) (minimum width 16" with wall 10' high)

*Structures that are heated will require insulation including ceilings, walls, and foundation frost protection.

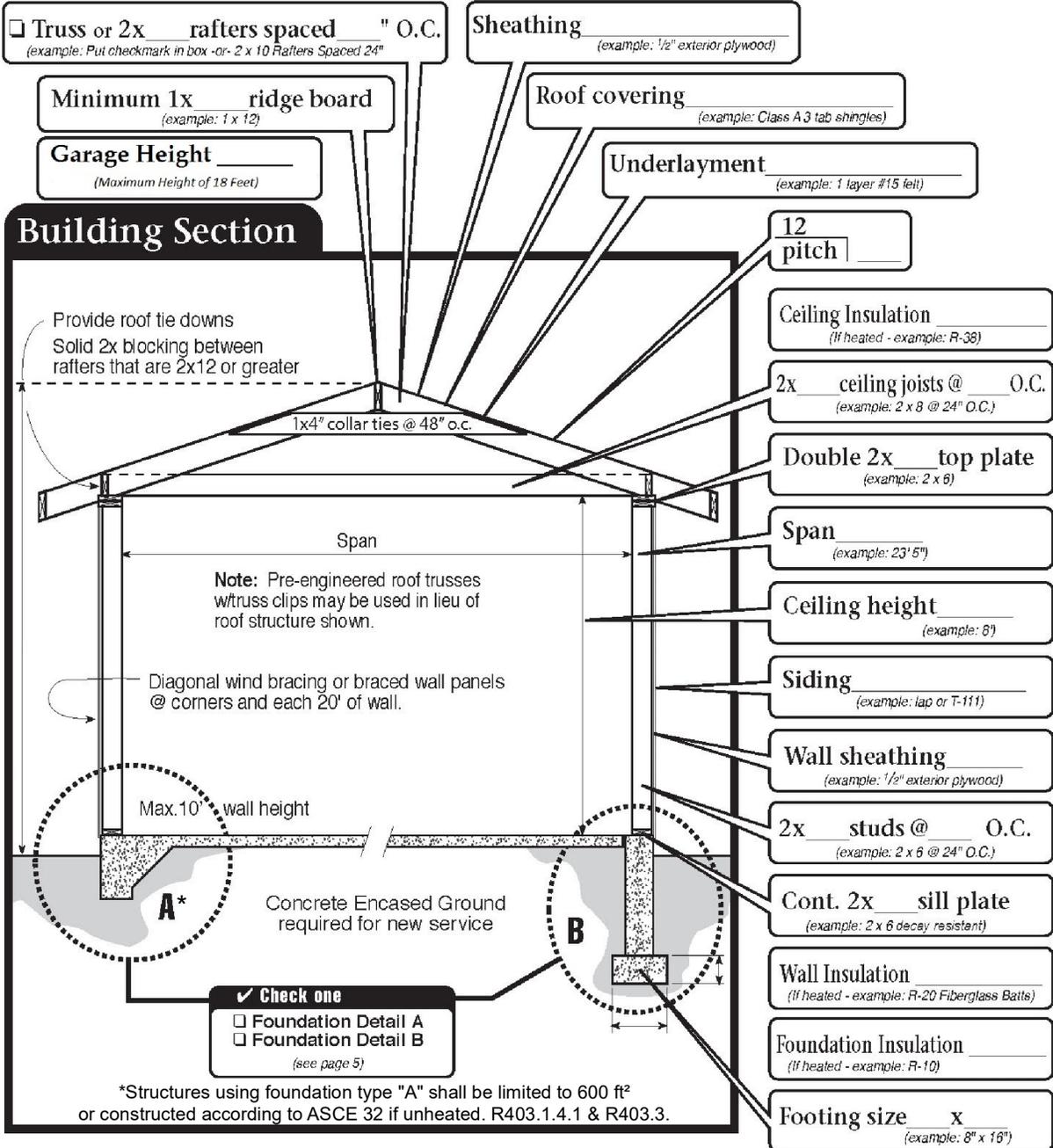
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Note: For roofs with slopes less than 4:12, follow manufacturer's instructions for low slope application of roofing material.



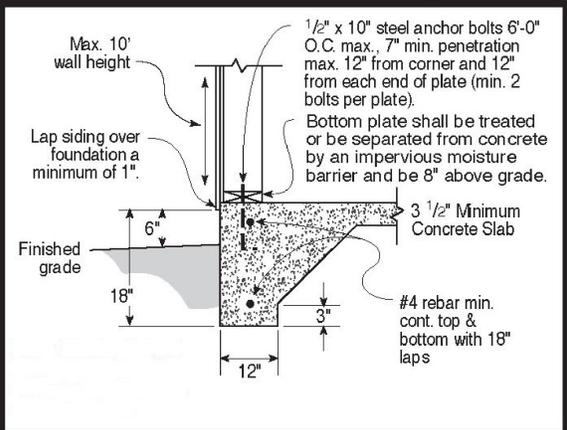
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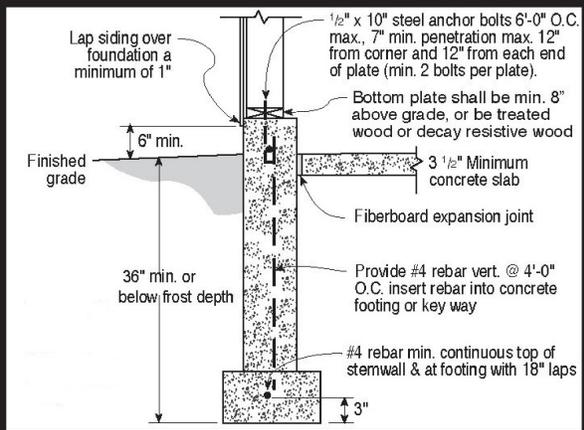
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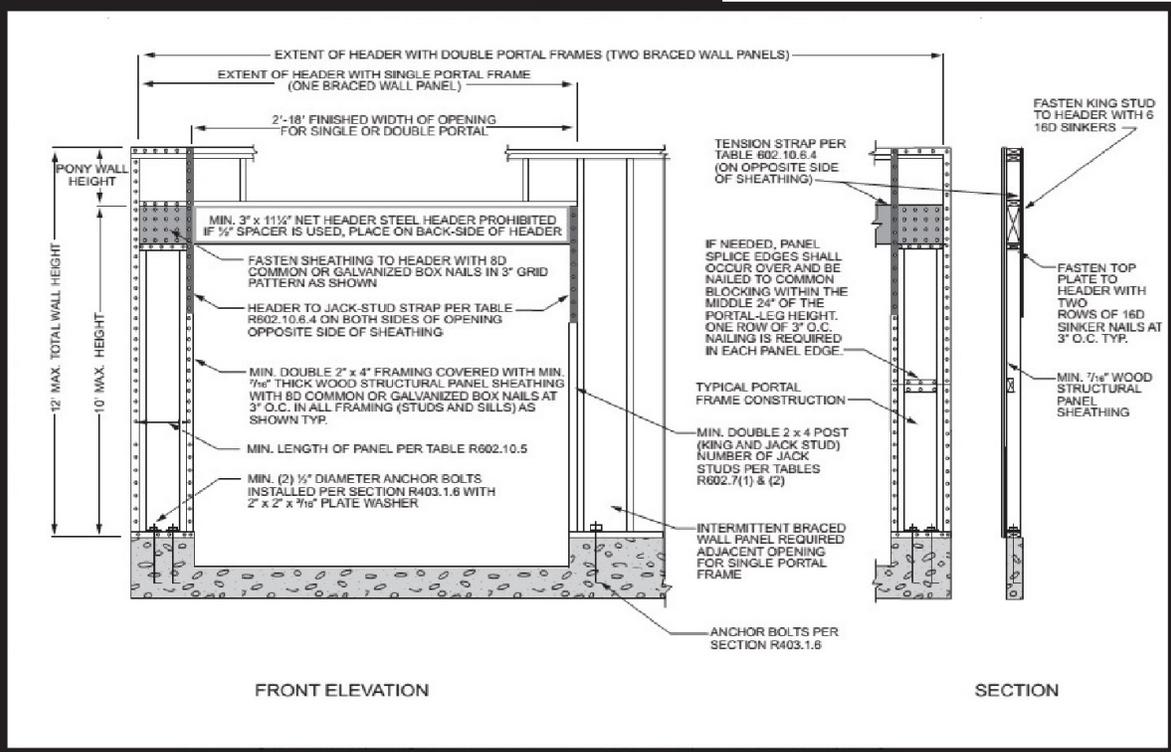
Foundation Detail A*



Foundation Detail B



Braced Wall Panel Detail



*Structures using foundation type "A" shall be limited to 600 ft² or constructed to ASCE 32 if unheated. R403.1.4.1 & R403.3.

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